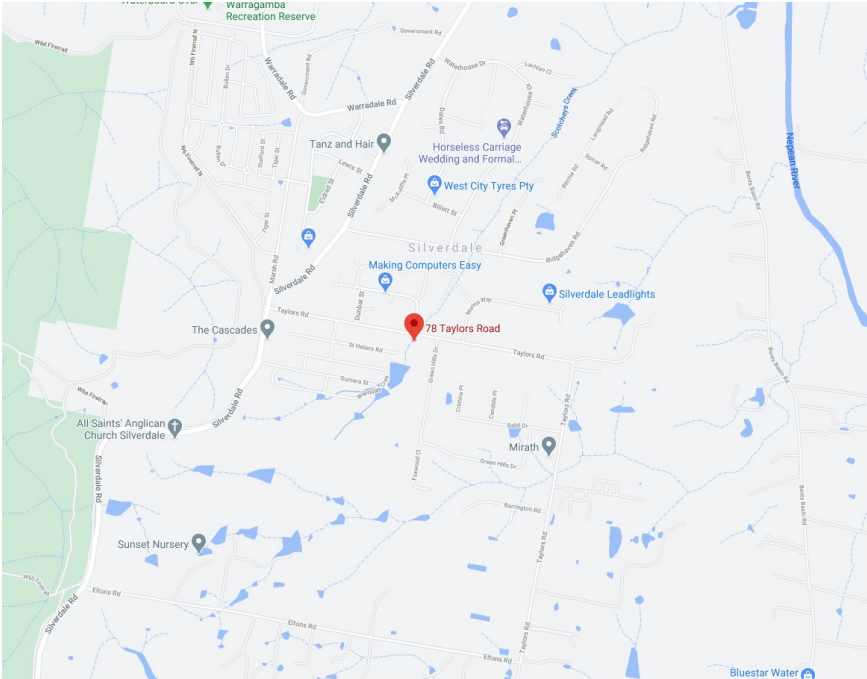
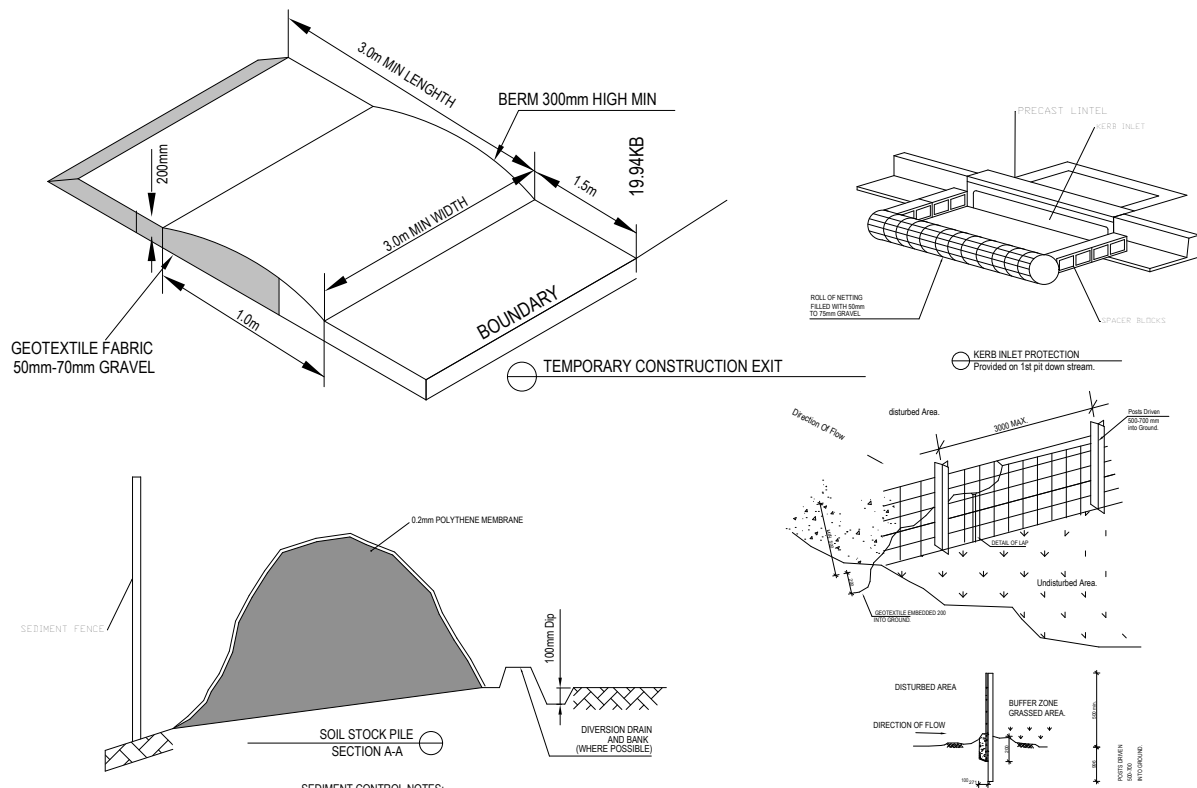
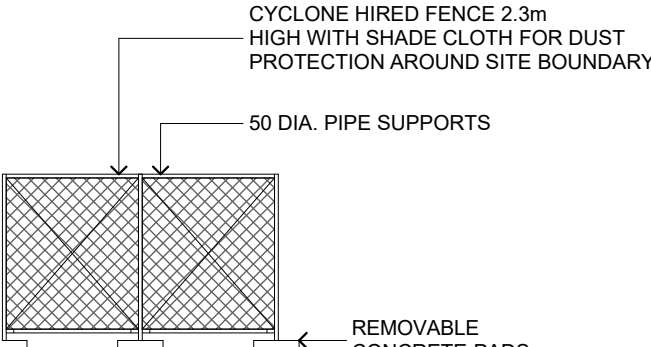




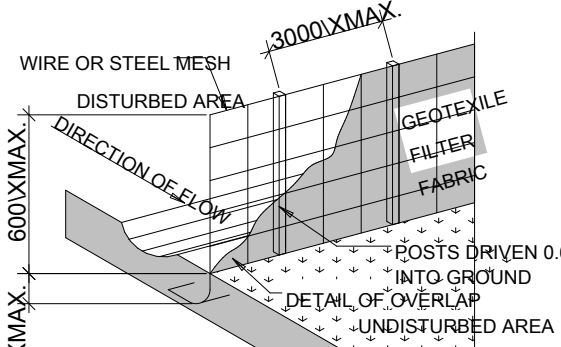
LOCATION MAP - SOURCED FROM GOOGLE MAPS



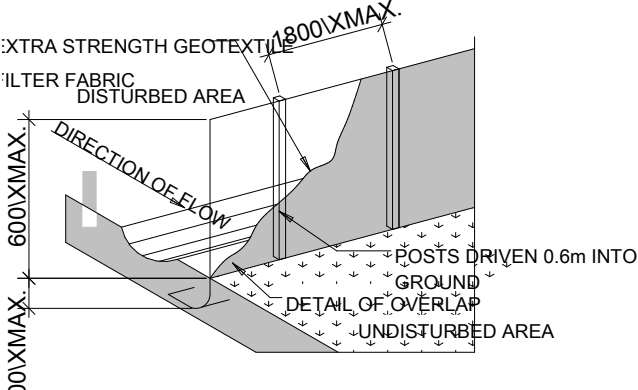
SEDIMENT & EROSION CONTROL PLAN- NTS



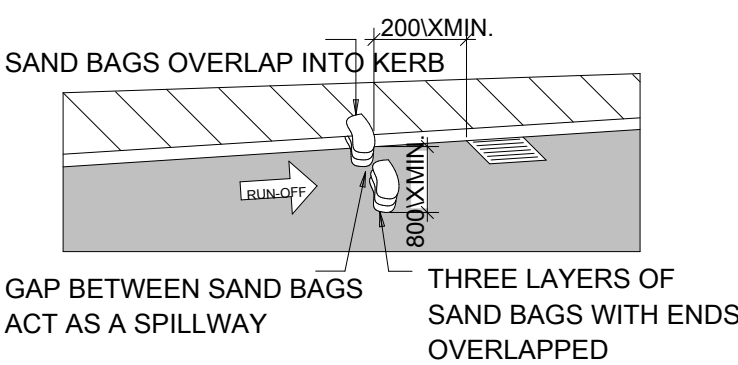
FENCE DETAIL- NTS



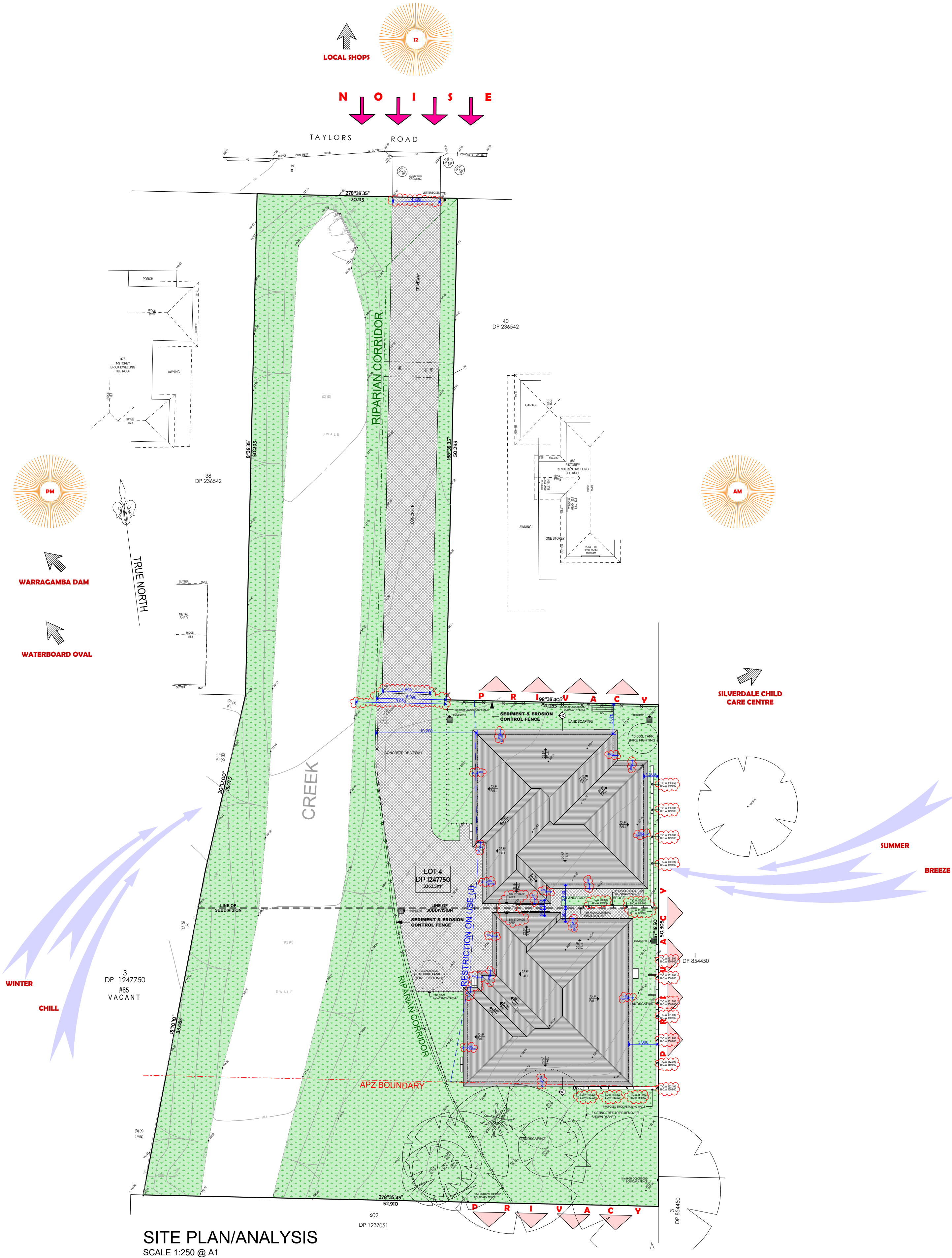
SEDIMENT FENCE- TYPE 1



SEDIMENT FENCE- TYPE 2



SANDBAG KERB INLET SEDIMENT TRAP



SITE PLAN/ANALYSIS
SCALE 1:250 @ A1

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Project North		Designer		Project	
				PROPOSED SUBDIVISION & DWELLINGS 78 TAYLORS RD, SILVERDALE	
Scale		Drawn		Drawing	
AS SHOWN		A.J		SITE PLAN/ ANALYSIS	
		Checked		Client	
		A.J		BAYUS PROJECTS PTY LTD	
				Issue	
				DA	
				Date	
				18/10/20	
				Project No:	
				20-37	
				DWG No:	
				01	

- EACH DWELLING IS TO HAVE 4 STAR SHOWERHEADS, 3 STAR KITCHEN/BATHROOM TAPS AND 4 STAR TOILET FLUSHING SYSTEMS
- DWELLING 1/5 IS TO HAVE A 3000L RAINWATER TANK TO COLLECT AT LEAST 120m² OF ROOF AREA CONNECTED TO LANDSCAPED AREA & TOILET DRAINING IS TO HAVE 3000L RAINWATER TANK TO COLLECT AT LEAST 120m² OF ROOF AREA CONNECTED TO LANDSCAPED AREA & TOILET
- ALL DWELLINGS ARE TO BE FITTED WITH A 36 to 40 STCS ELECTRIC HEAT PUMP
- ALL BATHROOMS, KITCHENS & LAUNDRIES ARE TO BE FITTED WITH AN INDIVIDUAL FAN DUCTED TO FACADE OR ROOF WITH A MANUAL ON/OFF SWITCH
- ALL DWELLINGS ARE TO HAVE AIR CONDITIONING DUCTING
- EACH KITCHEN, BATHROOM, LAUNDRY, HALLWAY, LIVING ROOM & 3 BEDROOMS/STUDY ARE TO HAVE ARTIFICIAL LIGHTING
- EACH KITCHEN & 2 BATHROOMS ARE TO HAVE NATURAL LIGHTING TO EACH DWELLING
- ALL DWELLINGS ARE TO HAVE GAS COOKTOPS AND ELECTRIC OVENS
- ALL DWELLINGS ARE TO HAVE OUTDOOR CLOTHES DRYING AREAS

		Thermal loads			
Dwelling no.		Area adjusted heating load (in m ² m ² /yr)		Area adjusted cooling load (in m ² m ² /yr)	
1		37.4		27.4	
All other dwellings		55.7		30.9	

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
All dwellings	169	-	-	-	No

- FLOORS: CONCRETE GROUND
- EXTERIOR WALLS: R15 INSULATION TO BRICK VENEER WALLS WITH FOIL SARKING
(WALL SYSTEM REACHING TOTAL R2.62)
- GLAZING: MODELLED AS SINGLE CLEAR GLASS WITH ALUMINIUM FRAMING
TYPE A - U-VALUE: 6.7, SHGC: 0.57
TYPE B - U-VALUE: 6.7, SHGC: 0.7
U-VALUE & SHGC ARE COMBINED GLASS & FRAME FIGURES
- CEILING INSULATION: ASSESSED WITH SEALED DONUTS & WET AREA EXHAUST FANS
MINIMUM R15 CEILING INSULATION TO ALL CEILINGS TO ROOF
- TILED ROOF MODELLED AS UNVENTILATED WITH FOIL SARKING & DARK COLOUR FINISH
EXTERIOR WALLS MODELLED WITH MEDIUM COLOUR FINISHES

REFER TO NATHERS INDIVIDUAL CERTIFICATES FOR FURTHER DETAILS

WALL CONSTRUCTION
BRICK VENEER- 110 BRICK, 40mm AIR GAP, 90mm TIMBER STUDS @ 600mm
 MAX CENTRES, 75mm GLASSWOOL INSULATION (11-14kg/m³) BETWEEN STUDS,
 1 LAYER OF 10mm OR 13mm PLASTERBOARD TO ACHIEVE RW55-60

ROOF/CEILING CONSTRUCTION
 PITCHED TILE ROOF, 40mm BATTENS, BRADFORN THERMOSEAL ROOF TILE SARKING, CEILING JOISTS OR TRUSSES @ 600mm MAX CENTRES
 215 GOLD BATTS 4.1 IN THE ROOF/CEILING CAVITY & 1 LAYER OF 13mm CSR GYPROCK
 PLASTERBOARD TO ACHIEVE RW44

EXTERNAL ENTRY/LAUNDRY DOOR
 35mm SOLID TIMBER DOOR INSTALLED IN REBATED DOOR FRAMES & FITTED WITH
 ACOUSTIC RATED SEALS, MIN 6mm FLOAT GLASS MAY BE INCORPORATED
 (FITTED WITH RUBBER GASKETS OR SEALED WITH NON-HARDENING ACOUSTIC SEALANT)

Table 4 Recommended Nominal Glazing Configurations

Room	Recommended Glazing Configuration	Required R_w
<i>Dwelling 1</i>		
All Bedrooms	Upgraded glazed window systems (acoustic construction)	31
Kitchen Dining/Living Room	Upgraded glazed window/door systems (acoustic construction)	29
Laundry, Ensuite and Bathroom	Standard glazed window systems (acoustic construction)	27
<i>Dwelling 2</i>		
All Bedrooms	Upgraded glazed window systems (acoustic construction)	31
Kitchen Dining/Living Room	Upgraded glazed window/door systems (acoustic construction)	29
Ensuite and Bathroom	Standard glazed window systems (acoustic construction)	27

- R_{w31} 6.38mm laminated glass (acoustic construction)
- R_{w29} 6mm float glass (acoustic construction)
- R_{w27} 4mm-5mm float glass (acoustic construction)



LEGEND	
PROPOSED LIGHTWEIGHT FOAM CLAD WALLS	
PROPOSED BRICK VENEER WALLS	
PROPOSED TIMBER STUD WALLS	
PROPOSED SOLID BRICK WALLS	
SMOKE ALARMS TO AS 3786	
ELECTRIC HEAT PUMP 36-40 STCS HOT WATER SYS	

C A L C U L A T I O N S	
TOTAL SITE AREA = 3363.5m ²	
LOT 1 = 1927.2m ²	LOT 2 = 1436.3m ²
MAX SITE COVERAGE = 504.2m ²	
PROPOSED SITE COVERAGE = 452.1m ² (44.8%)	
D W E L L I N G 1	D W E L L I N G 2
TOTAL FLOOR AREA = 175.7m ²	TOTAL FLOOR AREA = 178.8m ²
PRIVATE OPEN SPACE REQUIRED = 24m ²	
P.O.S PROPOSED = 129m ²	P.O.S PROPOSED = 86.7m ²
LANDSCAPING = 138m ²	LANDSCAPING = 83.1m ²

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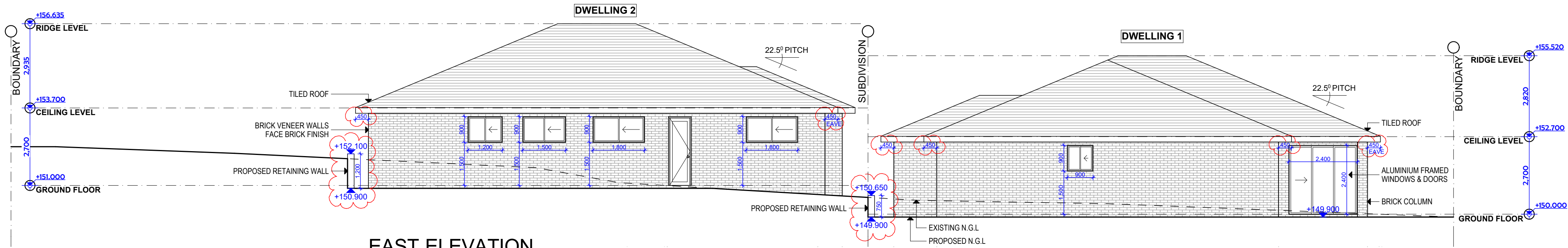
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BUILDING DESIGNER
Accreditation No. 6409

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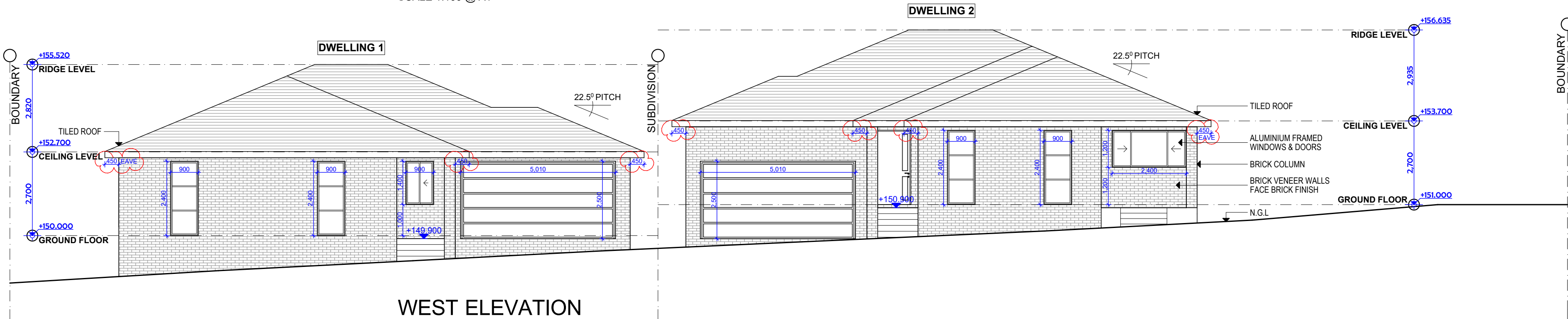
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02- FLOOR PLAN
03- ELEVATIONS & SECTION A-A
04- DRAFT SUBDIVISION PLAN
05- SCHEDULE OF FINISHES

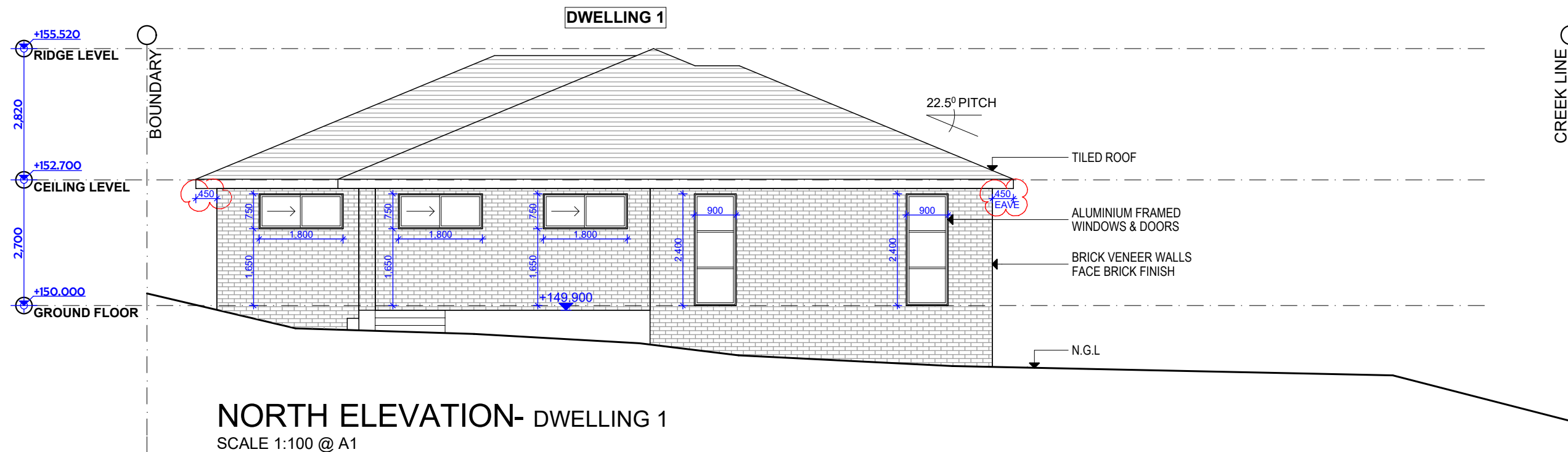
Project North		Designer		Project	
		 AJ DESIGN & DRAFT Mob: 0433 810 118 Fax: 9681 7585 Email: alex@ajdd.com.au ABN: 71 605 258 820		PROPOSED SUBDIVISION & DWELLINGS 78 TAYLORS RD, SILVERDALE	
				Drawing	
Scale		Client		FLOOR PLAN	
AS SHOWN		BAYUS PROJECTS PTY LTD			
Drawn A.J		Checked A.J		Issue DA	Date 18/10/20
				Project No: 20-37	DWG No: 02



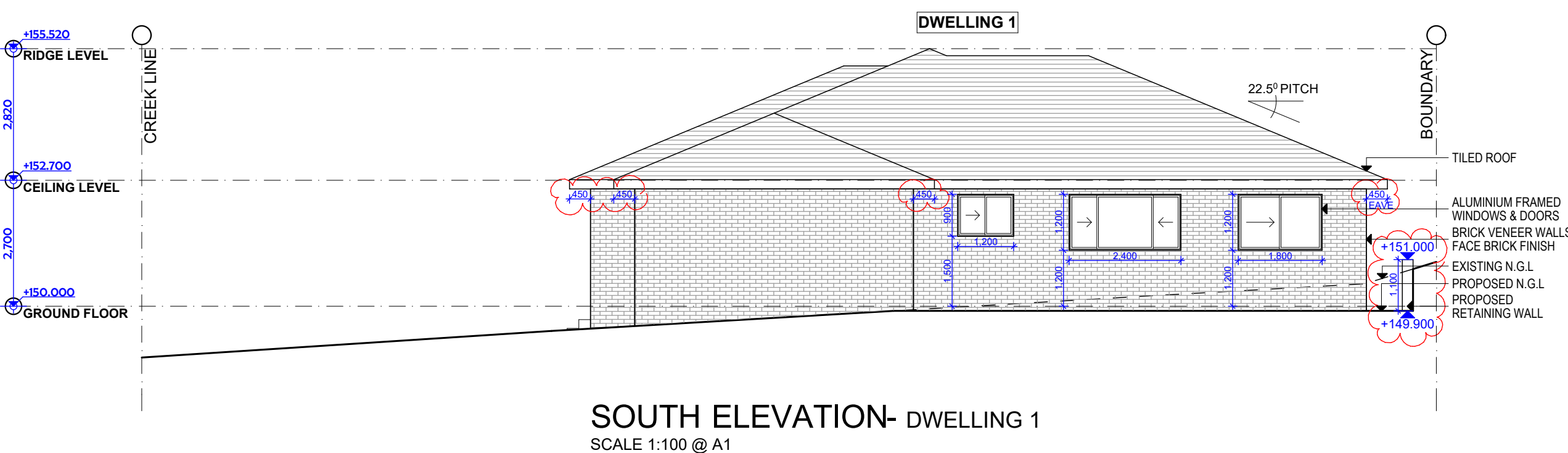
EAST ELEVATION
SCALE 1:100 @ A1



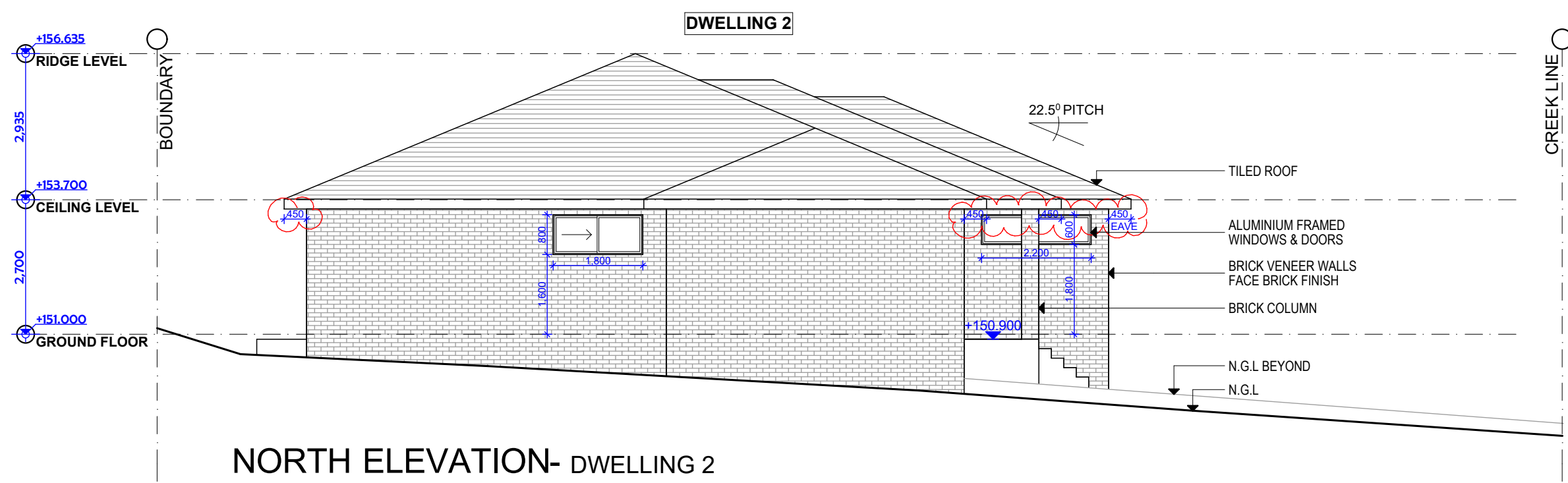
WEST ELEVATION
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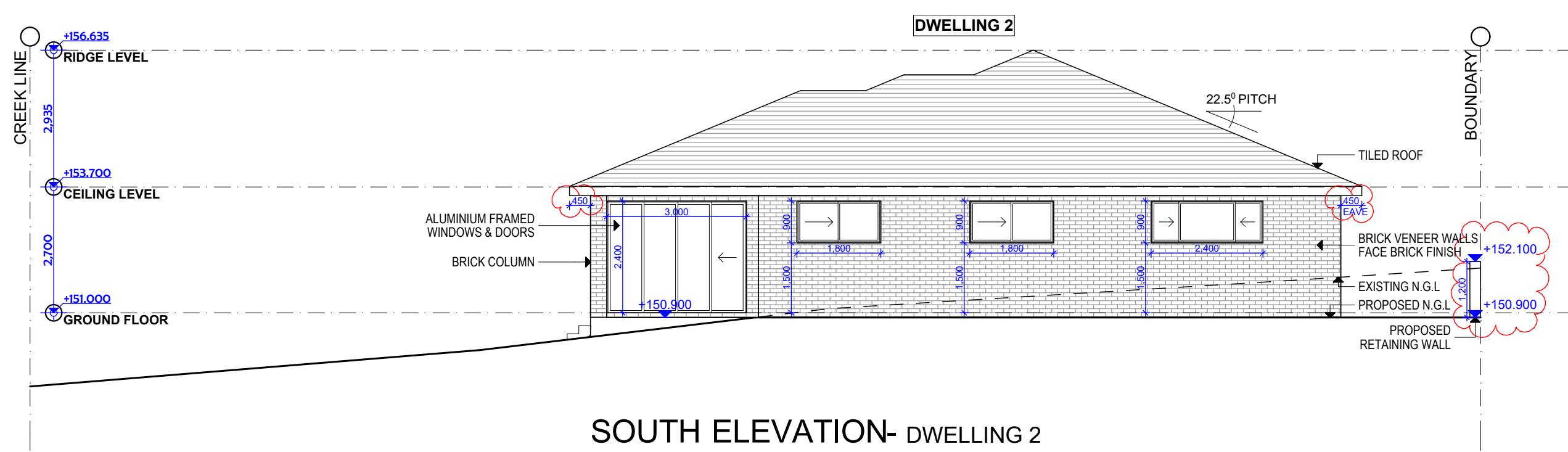
NORTH ELEVATION- DWELLING 1
SCALE 1:100 @ A1



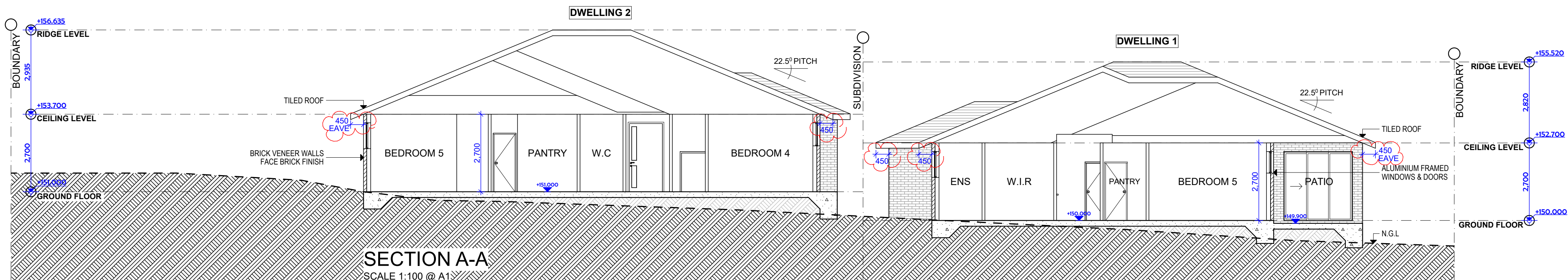
SOUTH ELEVATION- DWELLING 1
SCALE 1:100 @ A1



NORTH ELEVATION- DWELLING 2
SCALE 1:100 @ A1



SOUTH ELEVATION- DWELLING 2
SCALE 1:100 @ A1



SECTION A-A
SCALE 1:100 @ A1

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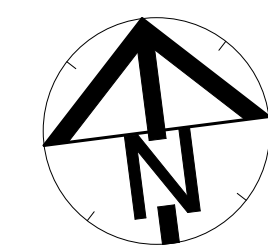
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SCHEDULE OF DRAWINGS

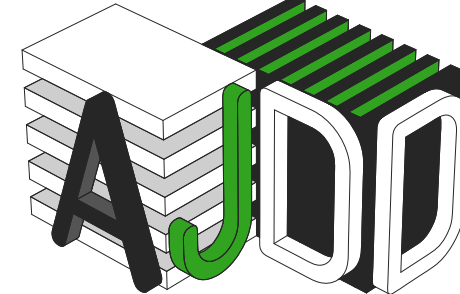
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Project North



Scale
AS SHOWN

Designer



AJ DESIGN & DRAFT
Mob: 0433 810 118
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Email: alex@ajdd.com.au
ABN: 71 605 258 820

Drawn

A.J

Checked

A.J

Project
PROPOSED SUBDIVISION & DWELLINGS
78 TAYLORS RD, SILVERDALE

Drawing
ELEVATIONS & SECTION A-A

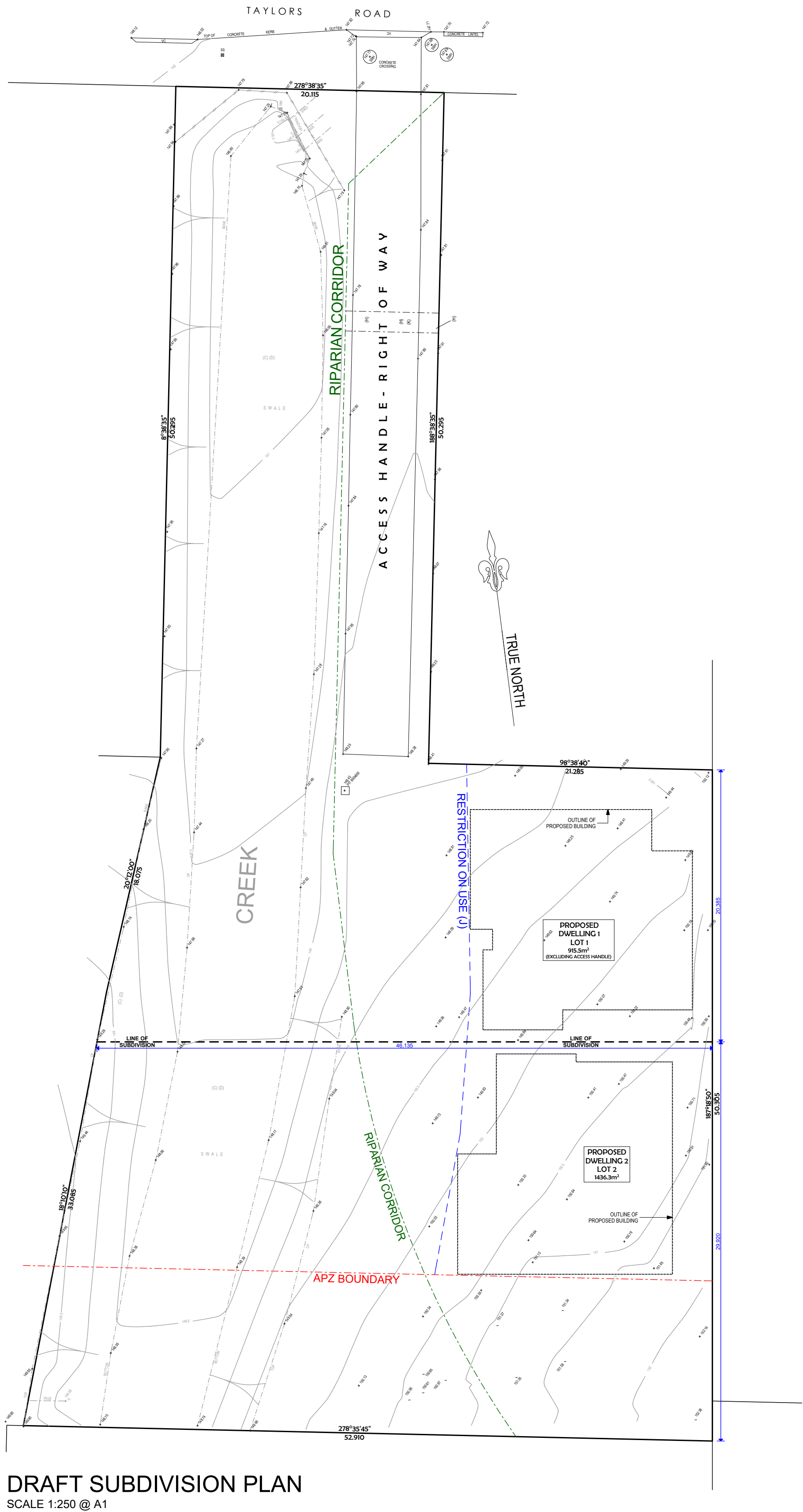
Client
BAYUS PROJECTS PTY LTD

Issue
DA

Date
18/10/20

Project No:
20-37

DWG No:
03



DRAFT SUBDIVISION PLAN
SCALE 1:250 @ A1

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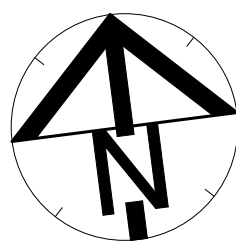
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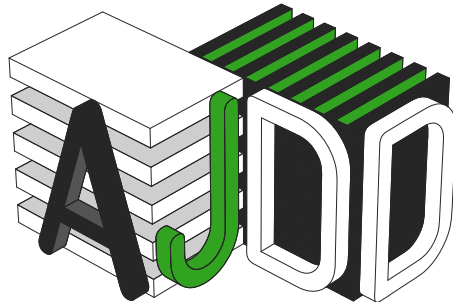
Project North



Scale

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Designer



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Drawn A.J

Checked A.J

Project PROPOSED SUBDIVISION & DWELLINGS
78 TAYLORS RD, SILVERDALE

Drawing DRAFT SUBDIVISION PLAN

Client BAYUS PROJECTS PTY LTD

Issue DA

Date 18/10/20

Project No: 20-37

DWG No: 04